

Contents

EXECUTIVE SUMMARY	3
BACKGROUND INFORMATION	4
Site location and description	4
Details of proposal	5
Planning history of the site, and adjoining or nearby sites.	8
KEY ISSUES FOR CONSIDERATION	8
Summary of main issues.....	8
Legal context	9
Planning policy.....	9
ASSESSMENT.....	9
Principle of the proposed development in terms of land use.....	9
Environmental impact assessment	11
Design.....	11
Impact of proposed development on amenity of adjoining occupiers and surrounding area.....	25
Residential Amenity	25
Noise.....	26
Energy and sustainability	31
Planning obligations (S.106 agreement)	32
Mayoral and borough community infrastructure levy (CIL).....	32
Other matters	33
Community involvement and engagement.....	33
Consultation responses from members of the public and local groups	33
Community impact and equalities assessment	36
Human rights implications.....	37
Positive and proactive statement	37
Positive and proactive engagement: summary table.....	37
CONCLUSION	37
APPENDICES	38
AUDIT TRAIL	39

Appendix 1: 1st Recommendation..... 40
Appendix 1: 2nd Recommendation 47
Appendix 2: Relevant planning history 51
Appendix 3: Consultation undertaken..... 52
Appendix 4: Consultation responses received..... 54

Item No. 7.2	Classification: Open	Date: 6 December 2021	Meeting Name: Planning Sub Committee B
Report title:	Development Management planning application: Application for: Full Planning Application (21/AP/2274) and Listed Building Consent (21/AP/2275) Address: East Lodge, Nunhead Cemetery, Linden Grove, SE15 3LP Proposal: Internal and external restoration of the East Lodge with updated access, integration of a cafe (former use class A1) and community uses (former use class D1) and landscaping.		
Ward(s) or groups affected:	Nunhead and Queens Road		
From:	Director of Planning		
Application Start Date 29.06.2021		PPA Expiry Date 31.01.2022	
Earliest Decision Date 23.08.2021			

RECOMMENDATION

1. That planning permission and listed building consent be granted subject to conditions.

EXECUTIVE SUMMARY

2. The proposals seek the restoration and reuse of the two storey grade II listed East Lodge in Nunhead Cemetery. The proposals include the rebuilding of internal and external walls and front portico, roof, chimney and accessible ramp. The area around is to be landscaped to provide seating for a café use (77sqm sqm) and reception office/community use (145sqm)
3. The site is located has a PTAL rating of 2 and the proposals include cycle storage provision, and sustainable energy measures including sustainable construction techniques, air source heat pumps awnings and shutters. The site is within the Nunhead Conservation Area, Registered Historic Park and Garden
4. The application has been informed by the council's East Lodge project board that includes offices, the Friends of Nunhead Cemetery and Historic England, with advice from the scheme architects and structural engineers.
5. Drainage plans, café ventilation and extract, landscaping design, green roofs, trees and Arboriculture Method Statement, opening hours and Secured By Design are proposed as conditions on the Planning application (21/AP/2274.) A section s278 agreement is required to secure works to the

surrounding pavement should the area be damaged by construction vehicles. Materials samples, joinery and chimney piece details, traditional materials construction method statement and details of awnings are required for the listed building consent application (21/AP2275).

BACKGROUND INFORMATION

Site location and description

6. Nunhead Cemetery covers an area of approximately fifty acres and occupies the summit of some rising ground historically offering good views of the surrounding neighbourhood and streets of Linden Grove. The cemetery was laid out in 1840 to designs by the architect, James Bunstone Bunning. The cemetery is bounded by the residential streets of Linden Grove to the north west, Ivydale Road to the east and Limesford Road to the south east, with Brockley footpath and Nunhead reservoir to the west and Nunhead reservoir is located to the west. The cemetery is a conservation area, a grade II listed historic park and garden and includes a number of listed monuments, gates and surrounding walls. The cemetery is designated as Metropolitan Open Land.
7. The applications concern the East Lodge, a grade II listed building located at the Linden Grove entrance. The lodge is the eastern building of a pair marking the entrance to the cemetery. Designed as twin lodges, both the East and West Lodges are of neo classical styling, with elaborate detailing. Both lodges are two-storeys (semi basement plus one storey above). The West Lodge is grade II listed and in private residential use. The East Lodge was built as an office for the London Cemetery Company, later converted into a dwelling for the superintendent. The application site includes immediately land surrounded the East Lodge structure, which was formerly the garden for the lodge.
8. The East Lodge is in a ruinous derelict state. There are no floors and no roof as a consequence of fire and 40 years of decay. The lower ground floor was permanently flooded due to surface water runoff impacting soils conditions and stability of remaining walls and foundations. The structure is currently supported by the scaffolding surrounding the building and the area is fenced from the public. The East Lodge has been on Historic England's Heritage at Risk register for over 20 years. The building and the land are owned by the London Borough of Southwark and are managed by the Council's Cemeteries Team. The site is served well by public transport Nunhead station and Oakdale Road bus stops are approx. 350m from the site and has a PTAL rating of 2. The nearest residential property is West Lodge, immediately opposite, approximately 25m away behind fence and hedge landscaping, while the dwellings in Linden Grove are 50m north with the wall and railings of the cemetery, plus Linden Grove between.
9. Prior to this application, consent was granted for the first phase of works to the building, stabilisation of the structure under LBS application no. 18/AP/2937 for "Enabling works comprising of underpinning and structural repairs to the upper portion of the building; some demolition works in

relation to the stability works; drainage works around the building.” Further works were granted consent 21/AP/2203 for “to facilitate the removal of scaffolding by the installation of new timber joists over-boarded with ply, new internal structural steels, new elbow ties and additional building and rebuilding of brick walls”

10. A project board, led by the council’s Cemeteries Team was formed in 2014 and consists of council officers from Cemeteries and Planning, plus Historic England, the scheme architects and the Friends of Nunhead Cemetery. In 2015 Historic England awarded grant funding for the structural condition surveys and options appraisal for the building. In 2018, Cabinet approved funding towards the restoration of the East Lodge and a feasibility study was undertaken to seek guidance on viable restoration options.



Above: current façade of the East Lodge.

Details of proposal

11. The proposals are for internal and external restoration of the East Lodge with updated access, integration of a cafe (A1) and community uses (D1) and landscaping.
12. Externally, the proposals involve the total restoration of the facades of the building to its former historic elevations. This would include the rebuilding of the portico, the repair of brick, mortar, stucco and the insertion of sash windows and doors to the existing openings, plus new slate pitched roof, repointing and rebuilding the chimney as necessary. Landscaping includes the provision of a railings and ramp to the front portico for equal access, stepped landscaping with café sitting out area, works to trees and café/community storage units at lower ground floor. Onsite provision for visitor and staff cycle storage, plus s278 for repair to the highway for any damage caused by construction vehicles is included or condition.
13. Internally, the proposals include the restoration of the majority of the floors and floorplan, plus new staircase and partitions to facilitate the uses of an office, café and community rooms. The café would provide employment for 2 people. The office and reception area is intended for use by local community groups, principally the Friends of Nunhead Cemetery (FONC) and would be staffed by volunteers.
14. Access to the site is from Linden Grove, and this proposed to remain unchanged with deliveries and servicing, including waste via Linden Grove. A servicing and delivery plans has been submitted. These are to be controlled via a conditions requiring Construction Management Plan.

Amendments to the application

15. Following consultation responses, further information regarding Transport including a parking survey, cycle stands plus Delivery and Servicing were submitted. Minor changes to the layout and further information on community consultation were also submitted. Further consultation with Transport Policy officers, the information was found to be acceptable.

Consultation responses from members of the public and local groups

16. 21/AP/2274 (Planning application) and 21/AP/2275 (Listed building consent)
17. **Support:** Planning application: 6 in total (5 members of the public. 1 amenity society) Listed building consent: 2 support (1 resident, 1 amenity society)
 - Valuable community hub
 - Inclusive seamless ramped access
 - Imaginative and sensitive to the Cemetery
 - Major boost to the amenities of the Cemetery
 - Much needed and long over due
 - Should be a café selling hot and cold food

- Support café at lower ground floor level adjacent to outdoor space
- Toilets should be accessible
- Positive reuse of old building

Friends of Nunhead Cemetery (FONC) comments: fully supports overarching proposals of the restoration of the East Lodge. Suggested floor plan changes and café should be limited to lower ground floor.

Officer response: comments of support noted – the proposals are for a flexible café and community space to facilitate the quantum of commercial café space needed to ensure long term viability of the East Lodge and will include accessible toilets and community facilities.

18. **Object:** Planning application; 2 responses (local resident) Listed building consent 1.
19. Design: including security, awnings, ramp, landscaping levels and café seating.
20. Officer response: The proposed ramp and railings are necessary for equal access to the front of the building for all. The alternative which was explored at pre-application stage was a lift to the rear which would not be democratic and require extensive maintenance. The awnings are a traditional design found on buildings of this period and are designed to keep the interior cool in the summer, without the need for mechanical air conditioning. The landscaping levels are low maintenance and the café opening hours and external seating can be controlled by condition to ensure minimal impact on amenity.
21. Amenity and impact on West Lodge: concerns regarding statements in the application about the West Lodge including removal of fence and hedge and impact on amenity with increased use, footfall and opening hours
22. Officer comment: There is likely to be increased footfall and usage of the area by the public accessing the café and community facilities. However this would be concentrated during the day, with the hours of opening controlled by condition and reflect the Cemetery opening hours. There would be no outdoor seating to the front of the East Lodge, in the area between the lodges. All seating would be contained within the building or to the north side of the East Lodge, 1.7 metres lower and partially shielded from views from the West Lodge by the change in landscaping levels and the ramp to the front entrance and over 22m away from the front elevation of the West Lodge. There are no changes proposed to the West Lodge.
23. No security alarm or lighting
- Officer response: details of alarm and lighting can be controlled via condition as a Secured By Design accreditation.
24. Impact on faith groups including servicing alcohol and increased usage of the cemetery impacting on the funerals

Officer comment: The service of alcohol is subject to a separate Licencing application. There would be no seating immediately outside the East Lodge onto the path. All seating is to the side and rear at lower ground floor levels and largely shielded from view by the ramp and landscaping. The proposals are in line with the Conservation Management Plan which notes a lack of spaces to linger in the cemetery. Pre-application and during application consultation was undertaken by the applicants and agents including engagement at community events, meetings with local amenity groups and direct consultation with the council's multi-faith group. Community consultation boards have been erected at the site and have attracted comments from the wider cemetery users. Further details in the community consultation document.

25. Noise including acoustic protection and ventilation extract
Officer comment: Acoustic protection to ventilation to the plant area, café and air source heat pumps is proposed to be controlled by condition.

26. No council staff to be relocated to the East Lodge
Officer comment: This is a cemetery operation issue and is not a material planning consideration.

Planning history of the site, and adjoining or nearby sites.

27. Any decisions which are significant to the consideration of the current application are referred to within the relevant sections of the report. A fuller history of decisions relating to this site, and other nearby sites, is provided in the appendices.

18/AP/2937 Enabling works comprising of underpinning and structural repairs to the upper portion of the building; some demolition works in relation to the stability works; drainage works around the building. Granted 07 Nov 2018.

21/AP/2203 Minor material amendment to planning permission 18/AP/2937 (Enabling works comprising of underpinning and structural repairs to the upper portion of the building; some demolition works in relation to the stability works; drainage works around the building.) to facilitate the removal of scaffolding by the installation of new timber joists over-boarded with ply, new internal structural steels, new elbow ties and additional building and rebuilding of brick walls - Granted 19 August 2021.

KEY ISSUES FOR CONSIDERATION

Summary of main issues

28. The main issues to be considered in respect of this application are:

- Principle of the proposed development in terms of land use
- Design, including layout, building heights, landscaping and ecology
- Heritage considerations

- Impact of proposed development on amenity of adjoining occupiers and surrounding area, including privacy, daylight and sunlight
- Transport and highways, including servicing, car parking and cycle parking
- Environmental matters, including construction management
- Energy and sustainability, including carbon emission reduction
- Ecology and biodiversity
- Consultation responses and community engagement
- Community impact, equalities assessment and human rights.

29. These matters are discussed in detail in the ‘Assessment’ section of this report.

Legal context

30. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2016, the Core Strategy 2011, and the Saved Southwark Plan 2007. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications for development within Conservation Areas to pay special attention to the desirability of preserving or enhancing the character or appearance of that area. Section 66 of the Act also requires the Authority to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest which they possess.

31. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

Planning policy

32. The statutory development plans for the Borough comprise the London Plan 2016, Southwark Core Strategy 2011, and saved policies from The Southwark Plan (2007 - July). The National Planning Policy Framework (2019) and emerging policies constitute material considerations but are not part of the statutory development plan. A list of policies which are relevant to this application is provided at Appendix xx. Any policies which are particularly relevant to the consideration of this application are highlighted in the report.

ASSESSMENT

Principle of the proposed development in terms of land use

33. Metropolitan Open Land

34. Relevant policies

London Plan 2021 - Policy G3 Metropolitan Open Land
Policy 3.25 of the saved Southwark Plan (2007)

35. There is a general presumption against inappropriate development on Metropolitan Open Land. Within Metropolitan Open Land, planning permission will only be permitted for appropriate development which is considered to be for the following purposes:
- i. Agriculture and forestry; or
 - ii. Essential facilities for outdoor sport and outdoor recreation, for cemeteries, and for other uses of land which preserve the openness of MOL and which do not conflict with the purposes of including land within MOL; or
 - iii. Extension of or alteration to an existing dwelling, providing that it does not result in disproportionate additions over and above the size of the original building; or
 - iv. Replacement of an existing dwelling, providing that the new dwelling is not materially larger than the dwelling that it replaces.”

36. The provision of a café and community facilities, including reception office for local amenity groups, within an existing structure with the MOL is considered to be an appropriate essential facility use under saved Southwark Plan policy 3.25. The physical openness of the MOL, would not be impacted upon in a negative manner due to the containment of the uses and development within the building or within the immediate landscaped surrounding adjacent to the East Lodge. The current situation of the lodge, with its permanent scaffold and tin roof, surrounded by Herras style fencing and shipping containers would be improved to the extent where the impact on the openness of the MOL is improved

Nunhead area Vision NSP policy AV.12

37. The criteria for the Nunhead area vision in the emergine New Southwark Plan is that Nunhead is:
- A historic residential area with many pubs, a library and a local community entre
 - A visitor destination for Nunhead Cemetery, with a view of St Paul's Cathedral and Aquarius Golf Course
 - Accessible by rail from central London at Nunhead Station and by many local walking, cycling and bus routes
 - Home to a thriving shopping centre at Evelina Road with a wide range of independent shops around Nunhead Green that create a village environment. Local shopping parades meet local shopping needs at Forest Hill Road and Cheltenham Road
-

- A place for sports and activities with good access to parks such as Peckham Rye
- The application is considered to comply with the area vision.

Provision of community facilities and café

Relevant policies

38. Saved Southwark Plan policy 2.2 – Provision of new Community Facilities NSP - P35 Development outside town centres & P44 Healthy developments and P46 Community uses

39. The purpose of these policies is to locate community facilities in sustainable area and where they are accessible for all members of the community.

While the building is located in PTAL area 2, it is accessible from the local sustainable transport network and includes parking close by. The building is proposed to be adaptive to include disabled access, including level access to all levels, including the basement, with facilities on each floor. While the development is outside the town centre, it is within the cemetery and could provide a variety of community uses, including use for the Friends of Nunhead Cemetery, health, leisure and training facilities for local hire by the future operator. The use of the building as a café and community venue is considered to be compliant with the policies.

Environmental impact assessment

40. An EIA is not required for this scale of development.

Design

Relevant policies

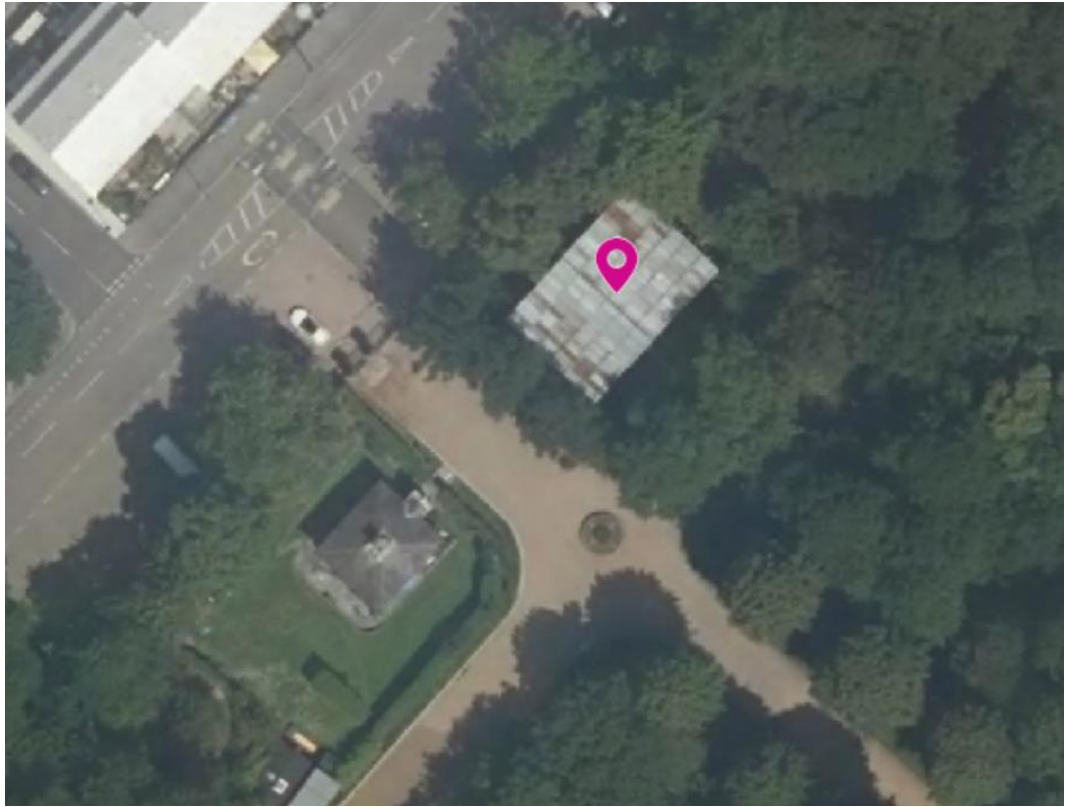
- 41.
- National Planning Policy Framework 2021 – Chapter 12, Achieving well-designed places
 - London Plan 2021 – Policy D4 Delivering good design & D5 Inclusive design
 - Southwark Core Strategy 2011 - 12 – Design and Conservation
 - Saved Southwark Plan 2007 policy 3.12 Quality in Design, 3.11 Urban Design
 - Emerging New Southwark Plan P18 listed buildings and structures.

Site context

42. The site is located within Nunhead Cemetery adjacent to the existing access with Linden Grove. On the north side of Linden Grove are residential dwellings and to the west, the West Lodge of Nunhead

Cemetery is also in residential use.

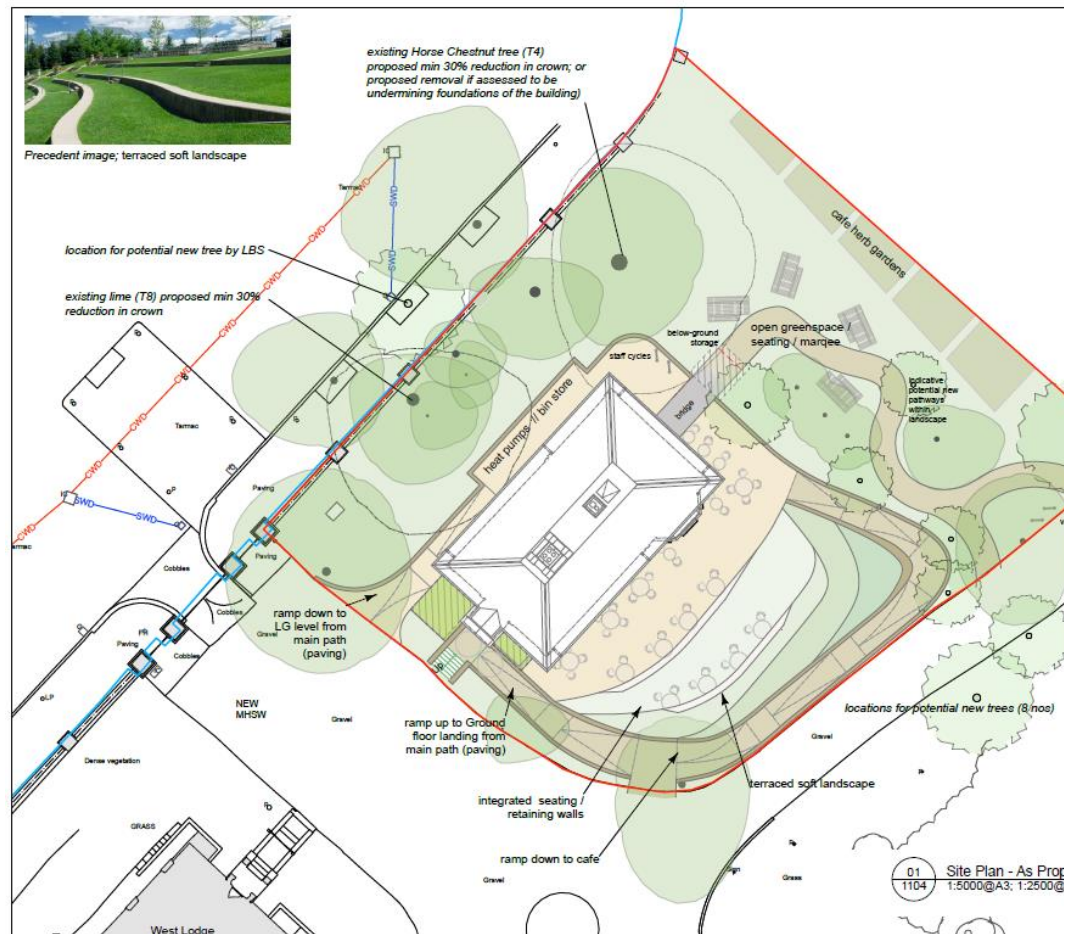
43.



Above: Aerial photo with East Lodge marked

44.

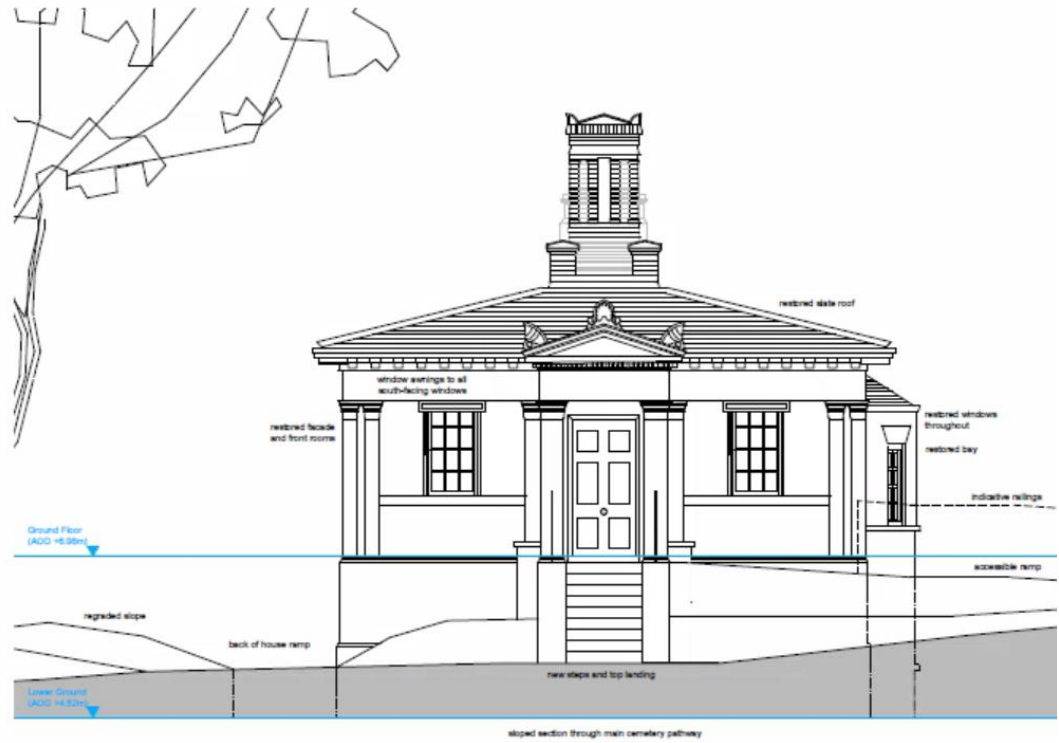
Site layout



45. The proposals seek to retain the footprint of the building and landscape the immediate area, removing the steep concrete slopes at lower ground floor level and providing a level access to a lower terrace for café seating, with stepped terraces for seating. A ramp is proposed from the front porch around the southern side of the building to connect with the lower ground floor. The restoration of stepped access to the front is also proposed, as is the crown reduction of a number of trees in the immediate vicinity. Storage under the front area, plus herb garden are proposed to the rear. The design of the site layout utilises the level changes effectively and provides equal access for all users to the internal element of the building and the lower external café seating. With the exception of the ramps, bridges and storage areas, there is no further built form, meaning that the uses are contained within the existing footprint of the building, minimising spread of development on the landscape, Metropolitan Open Land and Nunhead Cemetery Conservation Area.

Height scale and massing, architectural design and materials

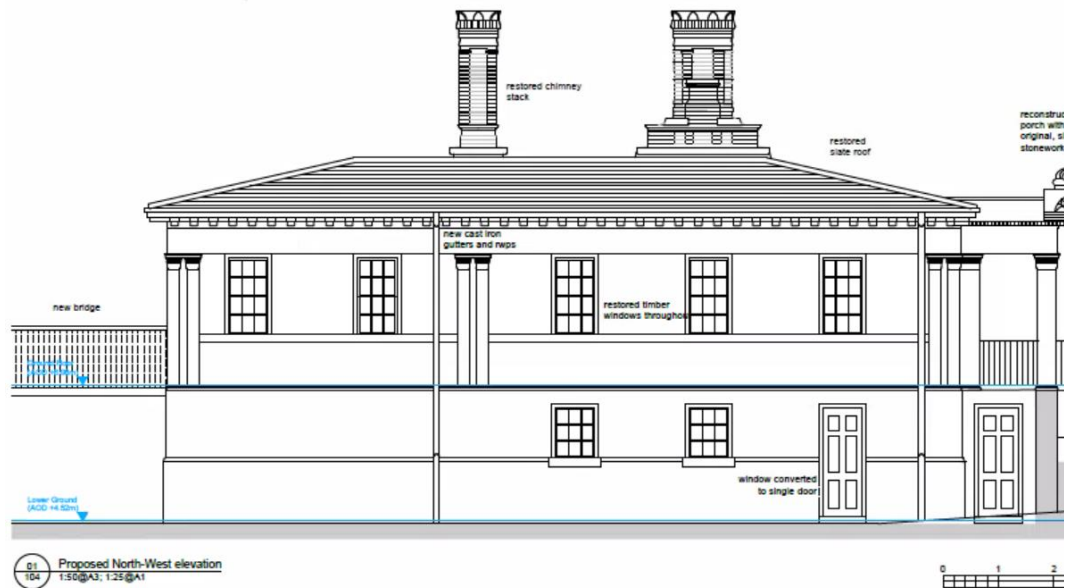
46.



47.

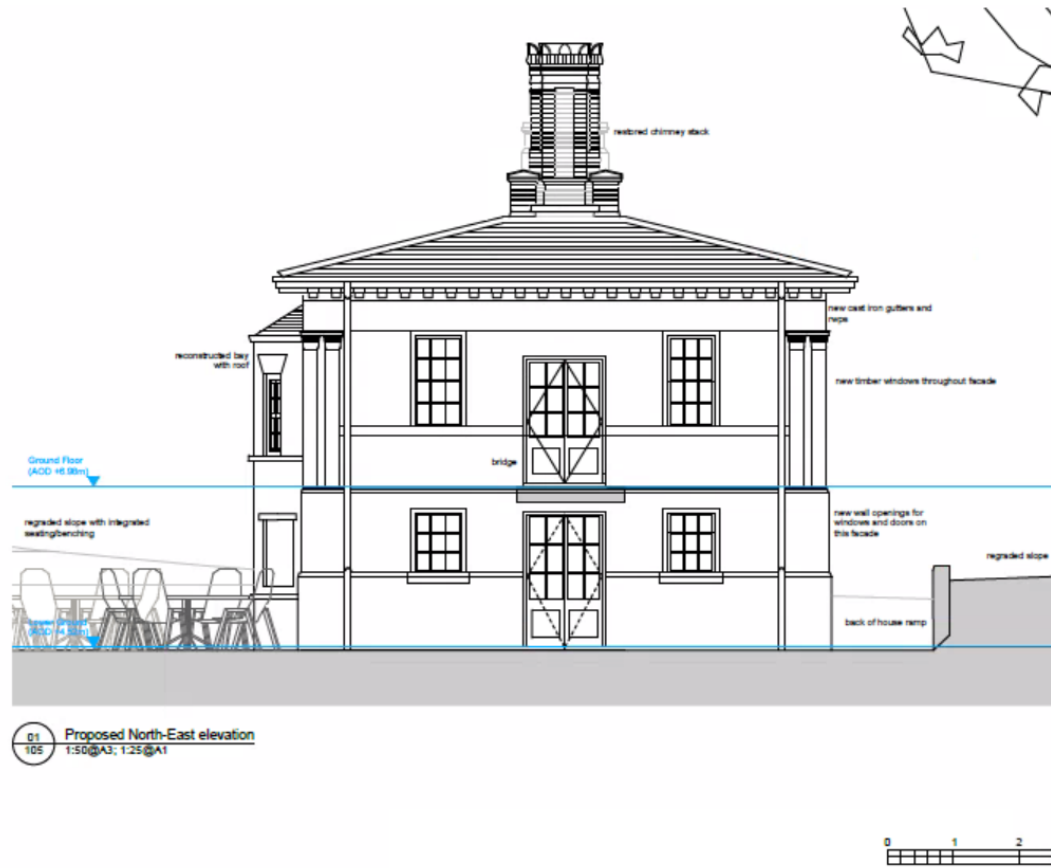
The external proposals are to restore the grade II listed lodge within its existing structure, using best practice conservation techniques and materials, including yellow stock brick, stone quoins, timber framed windows, and natural slate roof. Where possible, the previously existing material (where stored on site historically) will be reinstated or replaced in a like with like manner.

48.

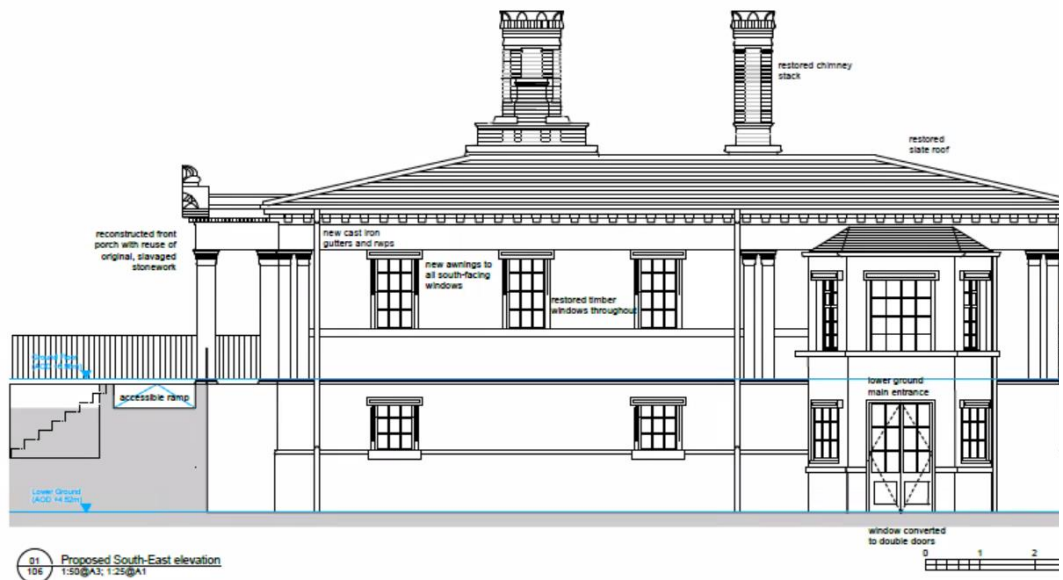


49. Conditions requiring sample of materials and joinery details to be agreed prior to commencement of development will be part of a pre-commencement condition.

50.



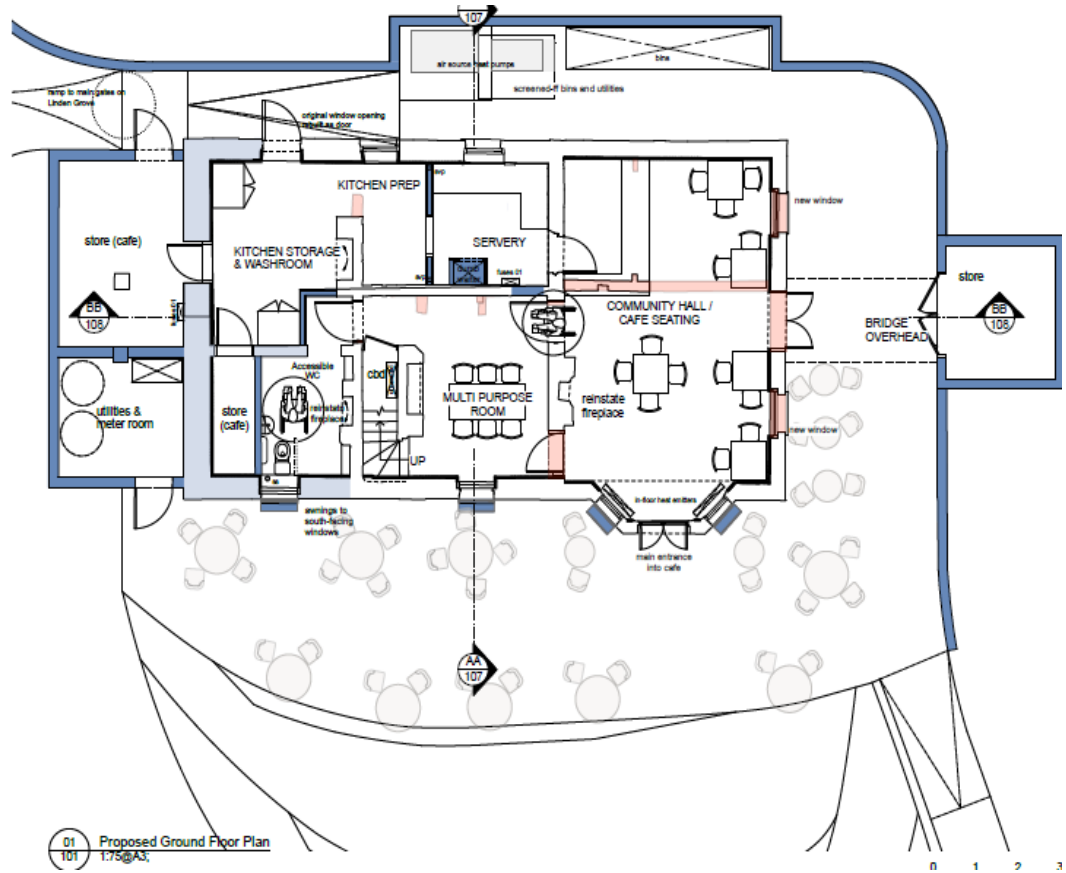
51.



52. Internal plans

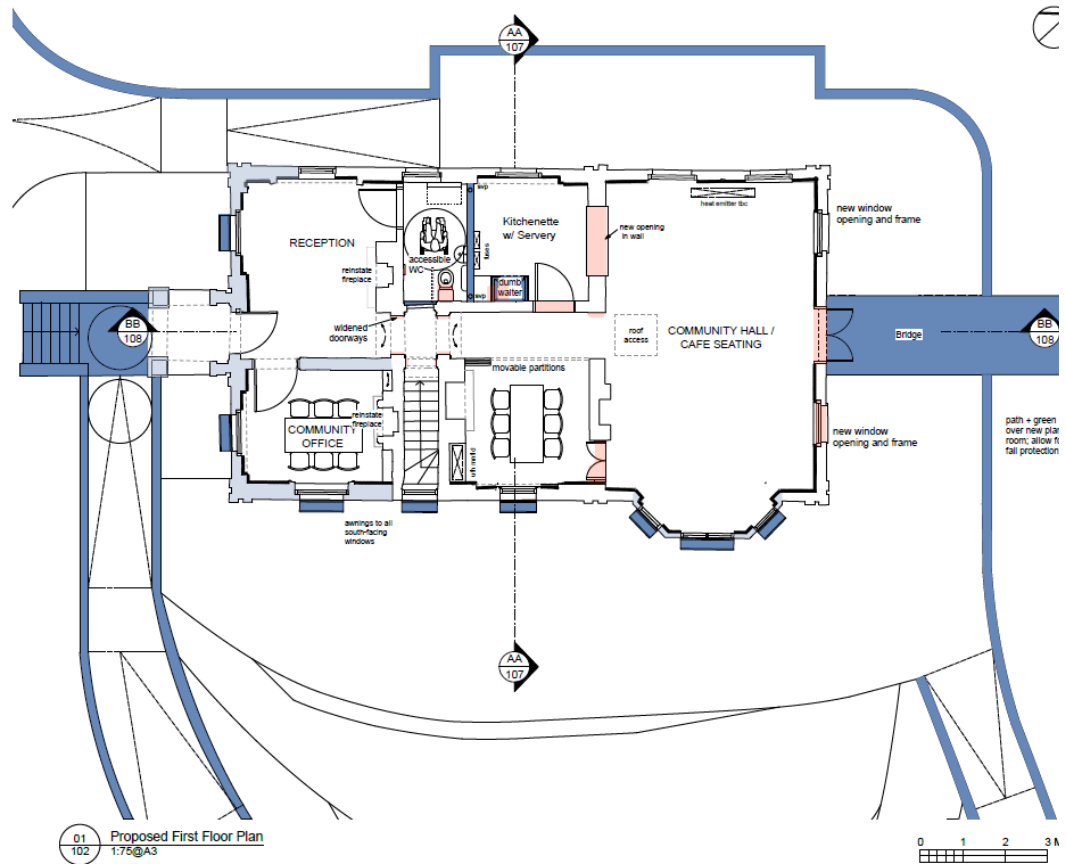
Internally at lower ground floor, the proposals include kitchen and café seating, with flexibility as a community room. There would be an accessible WC, kitchen prep area and servery for the café and plant/storage areas set into the bank accessible from the kitchen. External seating would be

accessed via the bay window at ground floor and the sloping landscaping from the south side of the site. Air source heat pumps and refuse storage is proposed to the northside of the building, set into the bank at lower ground floor. A ramp is proposed from the main gates on Linden Grove and kitchen service door on the north elevation.



Above: (lower) ground floor plan

53.



Above: (upper ground) First floor plan

54.

At the upper ground floor (first floor), there is proposed the restoration of the original portico style porch, with traditional steps leading from the cemetery pathway, entering into a reception area. The front area of the proposals include a community office, while a new staircase is proposed to link the lower ground and upper ground floors. A community hall is proposed to the rear of the building, with small servery attached. Externally this is proposed to be link to the upper terrace via a walkway bridge structure to ensure equal access.

In terms of policy compliance, the design owing to its high quality architectural restoration details, and use of space, is considered to be appropriate to the context of the Cemetery, and is compliant with the above policies.

Landscaping, trees and urban greening

Relevant policies:

55.

- National Planning Policy Framework 2021 – Chapter 12, Achieving well-designed places and Chapter 15, Conserving and enhancing the natural environment
- London Plan 2021 – Policy G1 Green Infrastructure
- Southwark Core Strategy 2011 - 12 – Design and Conservation

- Saved Southwark Plan 2007 policy - Emerging New Southwark Plan – P60 Trees

Trees and urban forestry

56. One category B oak and five category C oak, willow and ash require removal to facilitate the development. The trees are semi-mature self sown specimens also known to be affecting the structural integrity of the listed building. As secondary woodland trees their removal is acceptable as part of ongoing woodland management. Suitable mitigation of adverse ecological impacts is proposed via biodiversity improvements encompassed within the urban greening factor of 0.5, which exceeds the minimum required by policy. Suitable replacement planting of six trees can also be provided as part of landscaping or elsewhere within the cemetery. This can be controlled by condition. The application is compliant with the above policies.
57. With regards to landscaping, the proposals seek to remove the industrial concrete plinths which surround the building and were installed in the mid 20th century to aid drainage. The landscape is proposed to include stepped levels to the north to facilitate an appropriate setting to the building and incorporate it better into the surrounding cemetery.

58.



Above: Axonometric image of restored lodge, landscaping and seating

Ecology and biodiversity

Relevant policies and guidance:

59. NPPF - 15. Conserving and enhancing the natural environment

60. The application includes an UGF assessment and Bat Survey. The Bat Survey is valid until May 2022 and is acceptable. Urban Greening Factor is a tool to evaluate the quality and quantity of urban greening. It enables major developments to demonstrate how they have included urban greening as a fundamental element of site and building design in order to meet to meet London Plan Policy G5 Urban Greening. The UGF score for the site is >0.5 which is above policy compliance. Ecology officers have advised that a condition requiring details of the green roofs over the storage area to be controlled by condition. In conclusion, there would be no harm to biodiversity resulting from the development.

Designing out crime

Relevant policies

- 61.
- NPPF Chapter 6 Requiring good design
 - London Plan 2021 - Policy D11 Safety, security and resilience to emergency
 - Strategic Policy 12 (Design and Conservation)
 - Saved Southwark Plan Policy 3.14 – Designing Out Crime
 - The design should take account of good Secured By Design principles, taking into account the listed building, isolated location and secure perimeter walls surrounding the cemetery. A condition requiring details if security measures, to be implemented prior to occupation which shall seek to achieve the Secured By Design” accreditation by the Metropolitan Police.

Heritage

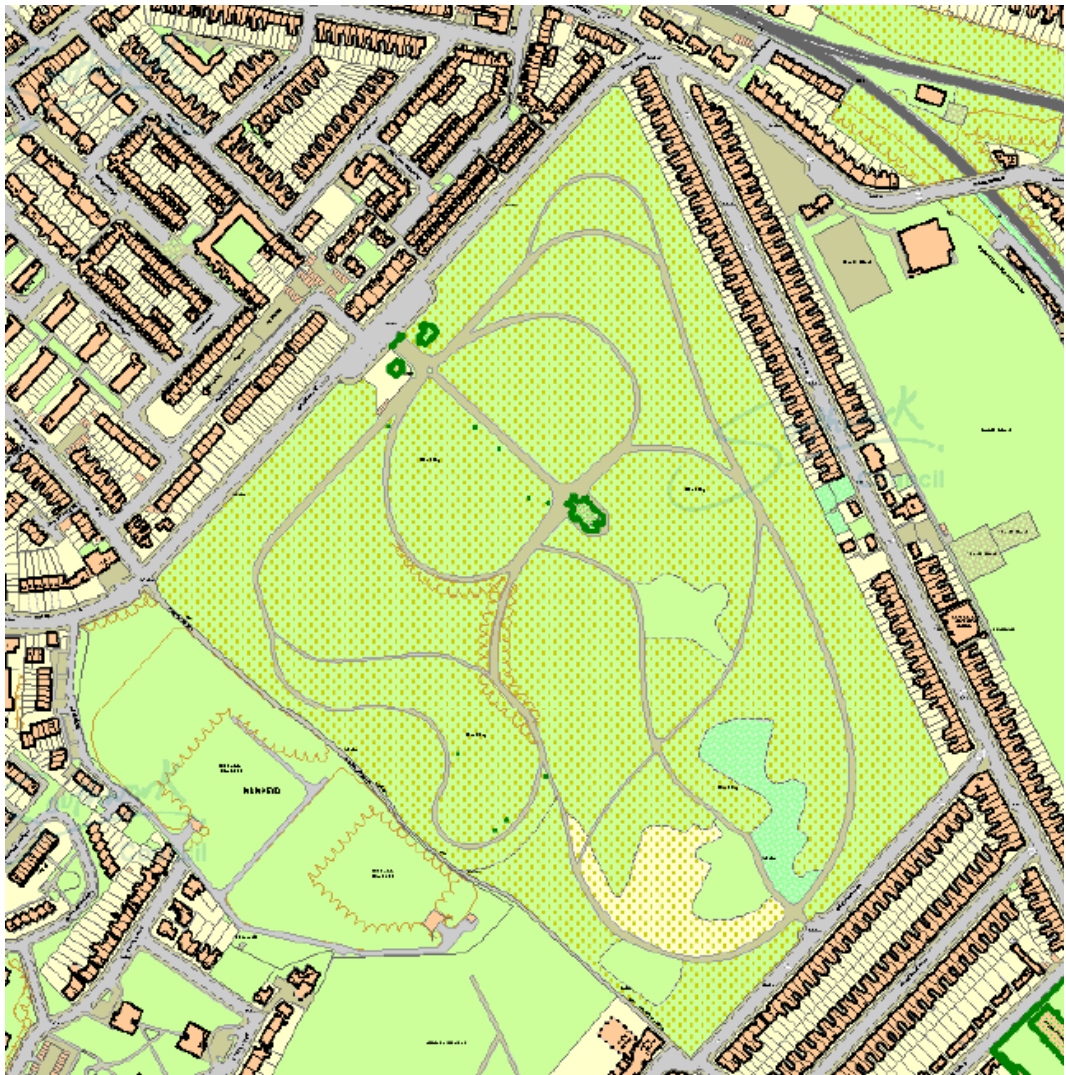
62. **Relevant policies:**

- National Planning Policy Framework 2021 – Chapter 16, Conservation of the Historic Environment
- London Plan 2021 – Policy HC1 Heritage conservation and growth
- Southwark Core Strategy 2011 - 12 – Design and Conservation
- Saved Southwark Plan policy 3.15 Conservation of the Historic Environment & 3.16 conservation areas and 3.17 listed buildings, 3.18 The Setting of Listed buildings, conservation areas and World Heritage Sites.
- Emerging New Southwark Plan P18 listed buildings and structures.

- 63.
- Impact on Nunhead Cemetery Conservation Area, Grade II* listed Historic Park and Garden and setting of grade II listed West Lodge and

the gates and pillars.

64. The roughly diamond shaped site of the cemetery and conservation area is bordered by: Linden Grove to the northwest, Ivydale Road to the northeast and Limesford Road to the southeast. Although the dominant character of the conservation area is now derived from woodland and foliage, the buildings and fabric, including the Anglican Chapel, the Gate Lodges and monuments, particularly the Scottish Martyrs memorial, significantly add to the identity of the cemetery, having been and still remaining its 'raison d'être'. The conservation area was designed in 1986. The conservation area is on Historic England's Heritage at Risk register as being in a "very bad" condition, with "low" vulnerability and a "deteriorating" trend. The cemetery is also a listed Park and Garden, listed at grade II*, also on Historic England's Heritage at Risk register.



Above: map showing the conservation area (hatched) and listed buildings (dark green)

65. All Saints Cemetery at Nunhead was laid out in 1840 to designs by the architect, James Bunstone Bunning, who later went on to become surveyor to the City of London. It is generally considered one of the finest early Victorian cemetery designs, Inspired by J. C. Loudon, although some evidence suggests Loudon did not entirely approve of the layout. The

intentions were to create a park-like garden, with a variety of scenes contained within. Wide stretching lawns interspersed with specimen trees between the monuments, circuitous paths and broad, tree-lined avenues gave the cemetery its original character. Bunning took advantage of the natural topography of Nunhead Hill, by curving the pathways around the edges of the site, so that the stunning views across central London and away to the North Downs were reserved until one reached the very summit. Much of the original planting survives in mature trees of Holm oak, lime, plane, yew and ginkgo.

66. The restoration of the East Lodge would have a positive impact on the significance of the conservation area and the designated Historic Park and Garden. Primarily it would restore one of the feature buildings of the conservation area and cemetery, putting it to a use consistent with the conservation areas character and providing facilities which would better reveal the significance of the conservation area. The materials and design follow the classical designs of the original architectural intentions, using traditional stone and natural slate to match the existing where found and those on the West Lodge.
67. The landscape design includes a ramp to satisfy equality in accessibility, and while this would be located at the front of the site, it would not be of a size and scale which was unduly prominent or compromises the vistas and experience of the wider conservation area, especially in views between the gates and the Chapel. The symmetry of the lodges and gate arrangement would be readily available and restored once the work is complete. The proposed landscape design surrounding the lodge includes removal of some small trees, but replacement planting elsewhere on the site. The stepped landscape design, greatly improves the industrial concrete paving currently in situ. The proposals also have taken into account the setting of the grade II listed West Lodge and gate and pillars to Linden Grove. The Historic England Guidance note "The Setting of Heritage Assets" advises that setting should be assessed using the following steps
68. Step 1: Identify which heritage assets and their settings are affected.
Step 2: Assess the degree to which these settings make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated.
Step 3: Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it
Step 4: Explore ways to maximise enhancement and avoid or minimise harm.
Step 5: Make and document the decision and monitor outcomes.
69. These steps have been followed in concluding that the proposals to restore a near lost asset, the East Lodge would improve the significance of the West Lodge and gates in that it would allow the trio of assets to be appreciated in a near original state, especially when compared to the existing situation of large scale dereliction and scaffolding. Allowing the East Lodge to become publically accessible improves not only the East Lodge, but better reveals the wider heritage of the site. The use of the building as a café and community rooms, with an office and reception for

the local community groups would also ensure long term viability, but also the preservation of the wider conservation area and grade II* listed Park and Garden, Nunhead Cemetery.

70. In conclusion, the proposal sustains and enhances the significance of the Nunhead Conservation Area and Historic Park and Garden in line with the policies as above. Material samples, landscape design and details of joinery are proposed as conditions to ensure compliance with the policies as the detailed design moves forward.

Grade II listed building East Lodge

71. The East Lodge is a grade II listed building. It forms part of a pair of lodge buildings to the cemetery, and part of the principle axis to the Chapel, also grade II listed. It is in a ruinous state of repair and supported by scaffolding and concrete plinths. It is on Historic England's Heritage at Risk register as a priority "A" building, in "Very Bad" condition. The significance of the building is as a good example, one of a pair of the lodges forming the principle route to the cemetery, designed by J.Bunning, a notable architect of Victorian cemetery design. Originally designed as an office for the cemetery staff, it was converted and extended in 1874 for use as a residential dwelling for the cemetery superintendent. During WWII, the lodge experienced bomb damage, and was for some time used as the main offices of the London Cemeteries Company. In 1967 The United Cemeteries Company acquired the cemetery and failed to maintain the lodges or the grounds. Fire and dereliction followed in the 1970s and a temporary roof installed in 1997.
72. The ruinous state of the building is set out clearly in the application documents, including a condition survey and photographic survey. There are no floors and no roof as a consequence of fire and decay. The lower ground floor was permanently flooded due to surface water runoff impacting soils conditions and stability of remaining walls and foundations.



Above: scaffold with concrete weighting supporting the building

The East Lodge has recently completed Phase 1A of stabilisation, protection and enabling works as approved under LBS application nos. 18/AP/2937 and 21/AP/2203 These works included:

- i. removal of trees and vegetation near the building.
- ii. taking down of some existing fabric whilst stabilising other areas including the use of permanent underpinning and Helifix bars to structural cracks.
- iii. Replacement lintels in precast concrete.
- iv. Repairs to existing brick arches.
- v. taking down and rebuilding of top courses of existing walls (up to future roof level).
- vi. Installation of temporary ties to maintain structural stability.

73. The current proposals have been designed to remove the East Lodge from the Heritage at Risk register by viably reusing the building in a manner consistent with its significance. The building will be restored as closely as possible to its original design externally, using the original design patterns, and materials including stone and brick and lime plaster with natural slate roof. A schedule of works using best practice conservation techniques is included in the Planning statement from paragraph 7.9. A significance assessment has been prepared by the accredited conservation architects, and highlights the most historically significant areas of the building are to the front elevation, with the principle office rooms, fireplaces and classical portico, with subsequent phases of the buildings marked as been of lesser significance. While much of the fabric of the building has deteriorated, it is still possible to understand the cellular character of the floor plan, with principle entrance leading to four rooms, part of the first phase of building with a meeting room to the rear.

74. The proposals include the restoration of much of the floor plan using traditional materials and techniques. The front rooms at ground floor would be a reception and office space for community use, with the café servery and dining spaces/community rooms in the original meeting room spaces to the rear. This use of space would preserve the majority of the floorplan and recreate the principle spaces ready for new usages. While there is proposed some subdivision and a new staircase, these elements are necessary for the restoration and reuse of the building for the next phase of its life. New chimney pieces, and panelling are proposed where possible and the kitchen and facilities fit out would be located in the secondary historic spaces of the building, limiting the impact on the remaining historic fabric and significance of the building.
75. Externally, the portico is proposed to be rebuilt, using where possible salvaged material from the original, and stonework cut to the match the existing. Samples of joinery for the windows, slate, stone and brick are required to match closely the original, some of which has been retained locally for restoration and reuse. The ramp and handrail to the front elevation is necessary for equal access to the building, however this has been successfully designed to include planting and stepped terraces which would improve the immediate garden setting of the lodge building and provide further opportunities for all to access part of the area's heritage. A bridge from the upper level to the upper ground floor also ensures level access to the upper landscaped garden. Storage is built in underneath the rear bridge access.



Above: current front elevation showing lower and upper ground floor

76. Shutters and awnings are proposed to the windows; awnings were not a feature of the original building, however there are many examples of buildings during the era enjoying the shading qualities provided through traditional window awnings. The Planning and Heritage statement includes ample evidence to support the use of awnings, as an aid to shading and cooling in the hotter months, without the use of mechanical ventilation. This is an acceptable alteration to the building to introduce a sustainable method of cooling without compromising the overall historic integrity of the original design. The air source heat pump location away from the building, and the proposals to include storage areas utilising the changes in level to the east, west and north sides of the structure hide services away from the principle elevations of the building minimising clutter to the fabric.
77. Subject to a full restoration method statement, joinery details and material samples to be controlled by condition, the proposals meet the requirements of the above policies and would provide a solution for removal from the Heritage at Risk register.
78. Historic England comment “Historic England has been closely involved in discussions alongside your Council regarding the proposed repair and restoration of the Grade II listed East Lodge at Nunhead Cemetery for several years due to its seriously deteriorated condition and long-standing Heritage at Risk status. We have maintained a strong supportive stance on the restoration and reuse of East Lodge in the interest of removing it from our Heritage at Risk Register and securing its long-term future.”

Impact of proposed development on amenity of adjoining occupiers and surrounding area

Residential Amenity

79. Relevant policies
NPPF – Chapter 6 Requiring good design
NSP - P55 Protection of Amenity
Saved Southwark Plan policy – 3.11 Protection of Amenity
80. The site is located 22m from the West Lodge and 35m from the residential properties on Linden Grove. There is likely to be increased footfall and activity of the area by the public accessing the café and community facilities. However this would be concentrated during the day, with the hours of opening controlled by condition and reflect the Cemetery opening hours as below. There would be no outdoor seating to the front of the East Lodge or directly in line with the front of the West Lodge in the path between the lodges. All seating would be contained within the building or externally to the north side of the East Lodge, 1.7 metres lower and partially shielded from views from the West Lodge by the change in landscaping levels and the ramp to the front entrance and over 22m away from the front elevation of the West Lodge.
81. The current cemetery opening hours are:
- 1 April to 30 September - 8:30am to 7pm

- 1 October to 31 October - 8:30am to 5pm
- 1 November to 28 February - 8:30am to 4pm
- 1 March to 30 March - 8:30am to 5pm

82. These opening hours are proposed to be reflected in a compliance condition controlling opening hours of the café and community space. The proposals also include the provision of evening events, on a limited basis throughout the year. To ensure control of the amount and number of evening events, in the interests of protecting the amenity of the neighbours in the West Lodge, the condition also includes a number of evening events per year, and the opening hours of such events. This would be limited to a maximum of 21 events per year, not on consecutive days, no more than one per consecutive week, to 10.30pm. While there would be an increase in the activity to the area, the hours of operation and the café and community centre usage of the building, and design and location of external seating and opening hours are unlikely to cause a nuisance to surrounding residential amenity and therefore compliance with the above policies is achievable. A separate licensing application would be required for the sale of alcohol.

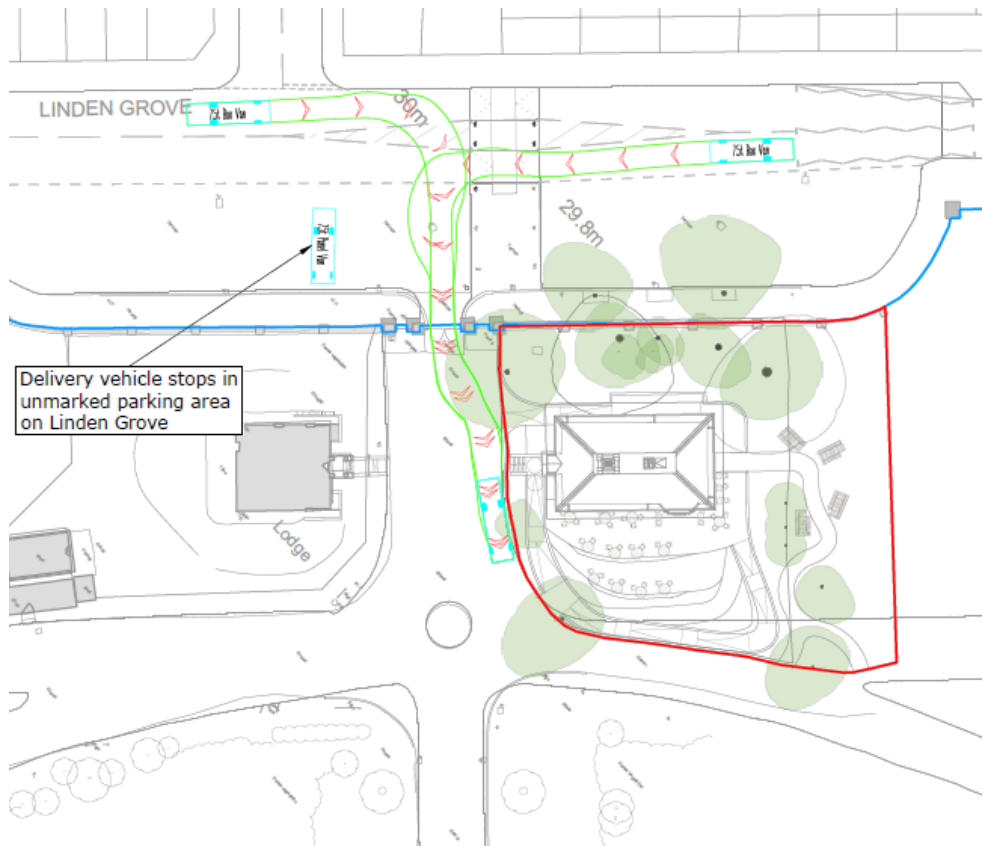
Noise

83. The application proposes mechanical extract ventilation and air source heat pumps. Acoustic protection and ventilation to the plant area, café and air source heat pumps is proposed to be controlled by condition.

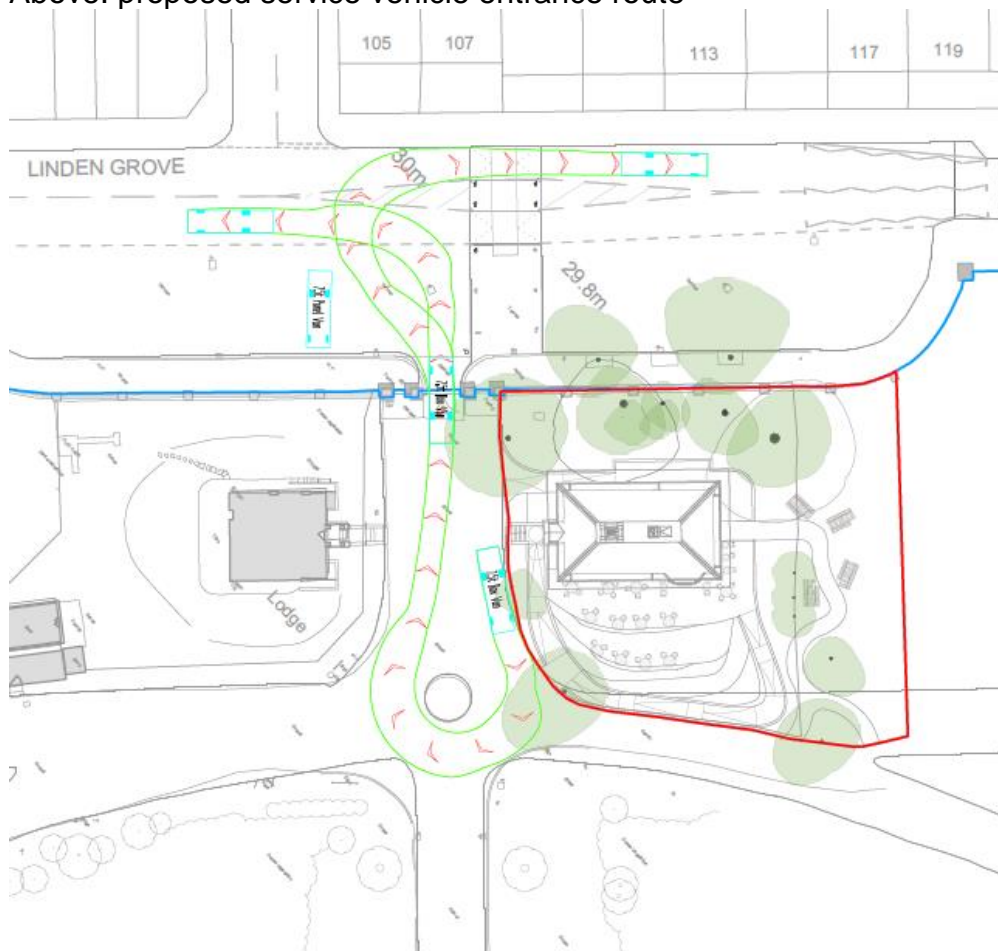
84. There may be noise from use of the internal spaces of the café and community rooms. This would be limited to daylight hours as per the hours of use condition. The use of the building as a café and community space would not usually result in noise of a statutory nuisance.

Transport and highways

85. Site layout



Above: proposed service vehicle entrance route



86. Above: proposed service vehicle exit route

Servicing, deliveries and refuse storage/collection

Relevant policies

87. London Plan 2021 - Policy T4 'Assessing and Mitigating Transport Impacts' and Policy T7 'Freight and Servicing'
GLA - Delivery and Servicing Plan Guidance (December 2020)
88. Delivery and servicing, including refuse collection is expected to take place from the unmarked parking by the gate into Nunhead Cemetery on Linden Grove or occasionally within the Cemetery along the footway next to the site. A parking survey undertaken on the 2nd October 2021 indicates there is plenty of capacity within the unmarked Cemetery parking area along Linden Grove (reaching a peak capacity of 54% with 12 spaces remaining), and on the surrounding highway network (reaching a peak capacity of 66% at 17:00, with 133 spaces remaining 200m walk from the site) for a delivery and servicing vehicle to stop. The unmarked parking on Linden Grove is within 20m from the site
89. Vehicular access to the cemetery is restricted by a locked gate. The site management will unlock the gate in the event a delivery or servicing vehicle needs to access the cemetery and stop outside of the Lodge. However it is expected stopping within the unmarked parking along Linden Grove will be the preferred option for delivery drivers. Entrance and exit routes are as above.
90. The development proposals are expected to generate circa 1 – 2 deliveries a day for goods associated with the day-to-day running and maintenance of the café (i.e. fresh food deliveries). Smaller events at the community facility are unlikely to generate any delivery trips (circa 100 community events) as attendees are likely to bring everything in cars (i.e. decorations for a birthday party, yoga mats for fitness classes). Larger events such as community events (expected to be max 21 events a year) are expected to generate circa 1 – 2 additional deliveries a day.
91. The refuse store is located at the north west of the site on the lower ground level and will provide two 1,100l Eurobins, or the equivalent capacity as wheelie bins. Waste will be segregated between general waste and dry recyclable waste. The bins will be screened from the public and lockable. A ramp provides direct access from the bin store on the lower ground floor to the footpath in the Cemetery on the ground floor. The bins will be wheeled by private waste contractor operatives to the main footway in the cemetery at ground level and to the back of the refuse collection vehicle, either on the footpath in the cemetery or the unmarked parking area on Linden Grove.
92. In summary, on average the proposals would generate circa 1 – 2 deliveries and servicing vehicle a day associated with the day-to-day running of the site and maintenance, with additional deliveries on days with

a larger event. It is likely that the most frequently used delivery vehicles will be Ford Transit type or Luton vans.

The application therefore is considered to comply with the above policies. To protect the amenity of the neighbouring residents, a condition requiring servicing hours to be limited to cemetery opening hours is necessary.

Car parking and trip generation

93. Relevant policies:

NPPF: Chapter 9: Promotion Sustainable Transport
London Plan: Policy T6 Car parking
NSP: P55 Car Parking

94. A parking survey was undertaken and submitted for consideration. The site is not within a CPZ. The proposed development is expected to generate 34 daily vehicle trips. On days when the community use is expected to be used smaller, it is expected to generate a peak parking demand of 8 and it is anticipated the café use will generate a peak parking demand of 3. Therefore a peak parking demand of 11 spaces could be generated

95. Many of the visitors to the proposed café are expected to live locally and will walk/cycle to the site. It is also likely to be used by existing visitors of the cemetery, who would be classified as pass-by trips. However existing visitors to the cemetery would have a longer dwell time if they stop at the café, thus having an impact on the surrounding parking capacity

96. The parking beat survey demonstrates there are 113 available parking spaces within 200m from the site and 12 available spaces within the unmarked cemetery parking area on Linden Grove during the peak parking time (17:00-19:00). The anticipated peak parking demand that will be generated by the proposed development (11) could easily be accommodated on the surrounding highway network within 200m from the site, including within the unmarked cemetery parking area on Linden Grove.

97. The parking beat survey demonstrates there are 113 available parking spaces within 200m from the site and 12 available spaces within the unmarked Cemetery parking area on Linden Grove during the peak parking time (17:00-19:00). The anticipated peak parking demand that will be generated by the proposed development (11) could easily be accommodated on the surrounding highway network within 200m from the site, including within the unmarked cemetery parking area on Linden Grove.

98. On days with larger events such as community meetings, events or parties (20-32 a year), it is anticipated the community use could generate a peak parking demand of 20 spaces. As these events are likely to take place in the afternoon/late in the day, parking demand from a larger event is not likely to overlap with parking demand from the café. A parking demand of 20 spaces could easily be accommodated on the surrounding highway network within 200m from the site

99. Disabled car parking

100. There is no dedicated disabled car parking on the site. However there is capacity in the unmarked Cemetery parking area on Linden Grove (12 available spaces during peak parking demand) for disabled users to park close to the site. There is also 13 disabled car parking bays within 200m from the site, with a peak parking demand of 6. If demand arises, there is capacity to provide a dedicated disabled car parking bay next to the cemetery gates in the unmarked cemetery parking on Linden Grove.
101. The application is therefore not expect to generate further pressure on parking and is compliant with the above policies.

Cycle parking and cycling facilities

102. Relevant policies
NPPF: Chapter 9: Promotion Sustainable Transport
London Plan: Policy T5 Cycling
NSP: P52 Cycling
103. There are three existing Sheffield type stands adjacent to the site within the cemetery providing parking for 6 cycle. A further 2 (4 long and short term visitor) and 2 staff cycle parking Sheffield stand to serve both the café and community facilities are indicated on the layout plans. This is compliant with the above NSP policies.

Environmental matters

Construction management

104. A Construction Management Plan (commonly referred to as a CMP) is a plan that outlines the proposed building works to be undertaken and how the constructor intends to manage the project to minimise the impact on the local residents during the works. A CMP is required via condition to be agreed prior to the commencement of development.

Flood risk and SUDs

105. NPPF – 2 Achieving sustainable development & 14 Meeting the challenge of climate change, flooding and coastal change
NSP - P67 Reducing flood risk

The application site is within flood zone 1 and therefore at the lowest risk of flooding. A Flood Risk Assessment has not been provided as the site area is under 1 hectare in size and does not meet the threshold for an assessment.

106. Drainage plans were approved as part of previous applications for stabilisation 18/AP/2937 and 21/AP/2203, however these are likely to require updating prior to works commencing. A condition is added to secure the design of the drainage system to be discharged prior to commencement of development.

107. Environmental Health and ventilation

NSP – P55 Protection of Amenity

The plans for the café include locations for the extract ventilation. The flue is proposed internally through false cupboards then to external air through the existing chimney breast. The café will not provide a full catering service and therefore no recommendation is made for additional odour control. A condition requiring details is acceptable to control the design of the ventilation extract.

Energy and sustainability

108. Relevant policies

NPPF: 2. Achieving sustainable development

NSP – P68 Sustainability standards and P69 Energy

109. Development must minimise carbon emissions on site in accordance with the following energy hierarchy:

1. Be lean (energy efficient design and construction); then
2. Be clean (low carbon energy supply); then
3. Be green (on site renewable energy generation and storage).

The nature of the building as grade II listed building means that a unique retrofitting whole building solution is sought for the energy and sustainability criteria of this application. This approach is advocated in the guidance by Historic England “Energy Efficiency and Historic Buildings: How to Improve Energy Efficiency”

110. The proposals are include by energy efficiency and heat loss solutions and sustainable energy generation – additional insulation is proposed to combat heat loss in winter, and provide a comfortable interior. Conversely, summer measures are proposed to be introduced to combat excessive heat gain in Summer. Many traditional buildings face a threat due to increased cooling demands in the face of rising summer temperatures, particularly in cities, and air-conditioning poses one of the biggest threat in terms of climate emergency. The project combats this by using the potential to use the historic features as a resource – to stop heat gain by using external shading devices, taking advantage of thermal mass via night cooling, using sash windows and fireplaces to increase cross ventilation/ stack effect ventilation in every room, and adding ceiling fans as an alternative to space cooling. While energy efficiency improvements would be a planning gain; their impact on Heritage has also been taken into consideration as part of a balanced assessment. An air source heat pump to generate energy is also proposed.

111. The energy and sustainability measures include:

- A new air-source heat pump is being proposed to service the building.
- Overtop of the sarking board and limited to the south-facing roof pitches, the use of “Thermoslate” roof solar collectors fully

concealed below the new slate roof finish – converting sunlight to energy for heating and hot water.

- The new roof is to be fully insulated as a warm roof construction – insulation located in the depth of the new roof rafters with ventilation channel between insulation and underside of sarking board.
- Breathable, natural internal wall insulation boards are proposed for all external walls. These will be decorated over and fully concealed. This will help stabilise the temperature of the building during temperature changes and maintain the breathability of the historic wall construction. Specific products include wool fibre insulation boards and cork boards.
- Windows energy efficiency measures: Traditional external window blinds are proposed to windows on the south-west and south-east facades. These will help with stabilise the temperature of the rooms and spaces behind as solar shades. These will be operated either internally and manual opened or motorised and operated on a sensor and/or remote.
- Repurpose of existing chimney stacks to provide passive ventilation to most key spaces. The rear bay room on each floor will have mechanical ceiling fans installed to help improve air-flow in hot summer months.
- Internal fixtures and fittings to moderate internal temperatures including ceiling fans, sensor activated LED lighting.
- Windows will incorporate sealed thin double-glazed units similar to Histoglass products. As new windows have to be made, this option is being considered. There will be a minor visual impact but this is offset by the lack of heat loss in the winter.
- Window shutters: evidence exists of internal shutters to windows. Internal horizontal sliding timber shutters will be incorporated with windows, to provide additional insulation. There is evidence of existing shutters in the original building, and new shutters will match as closely as possible evidence of existing shutters. Window shutters can improve the thermal performance of traditional windows.

112. In conclusion, the application takes into account the Be Lean, Be clean, Be green criteria and BREEAM best practice and proposes the reuse of an existing building and its embodied carbon and utilises energy effective design and construction, low carbon energy supply and renewable energy generation. The application seeks to apply the criteria of a BREEAM assessment and policies by adopting best practice design solutions in this area. While a formal BREEAM assessment may not be appropriate for a listed building, the spirit of the assessment and the compliance with the above policy criteria is considered to be met.

Planning obligations (S.106 agreement)

113. No planning obligations are required for this development.

Mayoral and borough community infrastructure levy (CIL)

114. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material 'local financial consideration' in planning decisions. However the development does not meet the threshold for Mayoral or Borough CIL payment.

Other matters

115. None arising at the time of writing

Community involvement and engagement

116. The council's Project Board, convened by the Parks and Cemetery's team have carried out the following consultation events:

- Webpage on Southwark Council website <https://www.southwark.gov.uk/parks-and-open-spaces/projects-in-parks/east-lodge-at-nunhead-cemetery>
- Regular updates at FONC trustees meetings, and through FONC's newsletter, going out to 800 members.
- Leaflet handed out at Nunhead Cemetery Open day on 19 May 2018
- Discussions about proposals with local resident on 19.02.2021 and review of West Lodge
- Briefing paper sent local wards Councillors on 25 March 2021
- Community meeting on 11 May 2021
- Display boards on site from 3 September 2021
- Open day 4 September 2021
- Consultation with multi faith forum on 30 September 2021
- FONC are actively publicising the project at their events, work days, guided tours etc.



Consultation responses from members of the public and local groups

117. See above at para. 16 for full account and officer comment.

Consultation responses from external and statutory consultees

Historic England

118. “Historic England has been closely involved in discussions alongside your Council regarding the proposed repair and restoration of the Grade II listed East Lodge at Nunhead Cemetery for several years due to its seriously deteriorated condition and long-standing Heritage at Risk status.

We have maintained a strong supportive stance on the restoration and reuse of East Lodge in the interest of removing it from our Heritage at Risk Register and securing its long-term future. The submitted scheme is broadly consistent with what we previously reviewed, and we therefore have no additional substantive comments to make at this stage. We would nonetheless reiterate our support for these applications, which appear well informed by a sound understanding of the significance of the listed building and its conservation needs.

We welcome the aims of the project which present extensive opportunities to reveal and enhance significance with uses that should provide basic facilities for the local community and provide income generation to invest in the ongoing maintenance of this important listed building.”

Garden Heritage Trust:

119. We have considered the information provided in support of the application and on the basis of this confirm we do not wish to comment on the proposals at this stage. We would however emphasise that this does not in any way signify either our approval or disapproval of the proposals.

Consultation responses from internal consultee

120. Arboricultural: One category B oak and five category C oak, willow and ash require removal to facilitate development. The trees are semi-mature self sown specimens also known to be affecting the structural integrity of the listed building. As secondary woodland trees their removal is acceptable as part of ongoing woodland management. Suitable mitigation of adverse ecological impacts is proposed via biodiversity improvements encompassed within the urban greening factor of 0.5, which exceeds the minimum required by policy. Suitable replacement planting of six trees can also be provided as part of landscaping or elsewhere within the cemetery. Please see recommended condition wording.
121. EPT: Proposal is refurbishment of derelict cemetery lodge, building is self contained and within the lockable cemetery grounds, at times under control of Southwark Parks. The plans include new cafe with extract vent. The flue is being taken internally through false cupboards, and then to the external air through the existing chimney breast. It is unlikely that this café will provide full service catering, and no recommendation is made for additional odour control. However, the catering burden should be taken into account when designing the extract system. Good design of the kitchen extract flue should include access for internal cleaning, to avoid build up of grease.

122. Transport:

“Location Details: PTAL= 2. CPZ = not located in a CPZ.

The application will only be acceptable from a transport perspective once the applicant has addressed the following points:

1. The applicant should clearly mark up on plans the waste storage facility capacity for the café and community use facility.
2. The applicant has provided some details regarding servicing and delivery activity for the café. At present this is somewhat vague as to an indicative schedule of delivery activity. A table summarising an indicative delivery frequency should be provided for the café.
3. The applicant at pre-application stage was asked to provide details of envisaged trip generation linked with the café and community use for the lodge. Additionally the maximum capacity of the café was requested. This information should be provided to give an indication of the throughput associated with the site. Some indication should be given as to the envisaged frequency of events held at the café/community use facility.
4. Arrangements for disabled visitors arriving by car should be outlined.
5. The applicant has stated that no additional cycle parking will be provided for the East Lodge. The applicant should outline how staff working at the café or community use facility will be able to park their cycle for any long-stay in a secure and weatherproof manner.
6. The applicant has provided some details as to how it intends to manage the construction process. However, it still needs to provide a Construction Management Plan as requested at pre-application stage. This can be secured as a pre-commencement works condition. Mitigation measures should include and not be limited to the following: avoid construction works movements at high peak hours (08:00-09:00 and 17:00-18:00) and at school drop-off/pick-up times (08:00-09:00 and 15:00-16:00), consolidate works movements wherever possible, outline any required footway/road closures (giving appropriate forewarning and specifying measures to protect vulnerable pedestrians and road users) and detail measures to minimise the impact of receipt of works deliveries on the local highway network and wider community as a whole. Some indication should be given as to frequency of construction works movements by phase of works. The applicant will need to give specific consideration as to how access to Nunhead Cemetery will be maintained during the works for all users.
7. The applicant will be expected to agree to a condition to make good any footway that is damaged during the construction process.

Transport Recommendations

The application will only be acceptable from a transport perspective, once the above mentioned issues are addressed.”

Updated comments following submission of servicing and delivery plans, amended plans regarding storage and refuse capacity, and staff cycle parking.

“I have reviewed the attached Transport Note and Delivery and Servicing Management Plan and can confirm that they are both acceptable and have addressed the issues raised”

123. Ecology: The bat survey is valid until May 2022. The proposal includes an UGF assessment and score of > 0.5. Advise the following condition AG03.

Community impact and equalities assessment

124. The council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights

125. The council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.

126. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:

1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
3. Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
4. Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low
5. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.

127. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership.

Human rights implications

128. This planning application engages certain human rights under the Human Rights Act 2008 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.
129. This application has the legitimate aim of restoring a grade II listed building. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

Positive and proactive statement

130. The council has published its development plan and Core Strategy on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
131. The council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan and core strategy and submissions that are in accordance with the application requirements.

Positive and proactive engagement: summary table

132.	Was the pre-application service used for this application?	YES
	If the pre-application service was used for this application, was the advice given followed?	YES
	Was the application validated promptly?	YES
	If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval?	YES
	To help secure a timely decision, did the case officer submit their recommendation in advance of the agreed Planning Performance Agreement date?	YES

CONCLUSION

133. The applications meet the requirements of the above policies were applicable, as explained in the report above.
134. It is therefore recommended that planning permission and listed building consent be granted, subject to conditions.

BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Site history file: 2522-F Application file: 21/AP/2274 & 21/AP/2275 Southwark Local Development Framework and Development Plan Documents	Chief Executive's Department 160 Tooley Street London SE1 2QH	Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254 Council website: www.southwark.gov.uk

APPENDICES

No.	Title
Appendix 1	Recommendation (draft decision notice)
Appendix 2	Planning history of the site and nearby sites
Appendix 3	Consultation undertaken
Appendix 4	Consultation responses received.

AUDIT TRAIL

Lead Officer	Stephen Platts, Director of Planning and Growth	
Report Author	Catherine Jeater, Team Leader, Design and Conservation	
Version	Final	
Dated	6 December 2021	
Key Decision	No	
CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER		
Officer Title	Comments Sought	Comments included
Strategic Director of Finance and Governance	No	No
Strategic Director of Environment and Leisure	No	No
Strategic Director of Housing and Modernisation	No	No
Director of Regeneration	No	No
Date final report sent to Constitutional Team		23 November 2021

**First Recommendation
Planning Permission 21/AP/2274**

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

Applicant	Ms Nina Chantry London Borough of Southwark, Environment and Leisure, Pa...	Reg. Number	21/AP/2274
Application Type	Local Authority Development	Case Number	2522-F
Recommendation	GRANT permission		

Draft of Decision Notice

planning permission is GRANTED for the following development:

Internal and external restoration of the East Lodge with updated access, integration of a cafe (former use class A1) and community uses (former use class D1) and landscaping.

East Lodge Nunhead Cemetery Linden Grove London

In accordance with application received on 29 June 2021 and Applicant's Drawing Nos.:

1. Approved plans

The development shall be carried out in accordance with the following approved plans:

Reference no. / Plan/document name / Revision: Received on:
STAGE 2 REPORT REV 1 Environmental Statement 29.06.2021
TREE DEVELOPMENT REPORT Tree survey and
assessment
29.06.2021

103C - PROPOSED SOUTH WEST ELEVATION
PROPOSED SOUTH WEST ELEVATION
29.06.2021

104D - PROPOSED NORTH-WEST ELEVATION
PROPOSED NORTH-WEST ELEVATION
29.06.2021

105E - PROPOSED NORTH-EAST ELEVATION
PROPOSED NORTH-EAST ELEVATION
29.06.2021

106D - PROPOSED SOUTH-EAST ELEVATION

PROPOSED SOUTH-EAST ELEVATION
29.06.2021
102L - PROPOSED GROUND FLOOR PLAN
PROPOSED GROUND FLOOR PLAN
11.11.2021
108C - PROPOSED SECTION BB PROPOSED
SECTION BB
29.06.2021
101L - PROPOSED BASEMENT PLAN PROPOSED
BASEMENT PLAN
11.11.2021
107 B - PROPOSED SECTION AA PROPOSED
SECTION AA
29.06.2021
113 B - PROPOSED SOUTH WEST ELEVATION
PROPOSED SOUTH WEST ELEVATION
11.11.2021
116 B - PROPOSED ROOF PLAN PROPOSED ROOF
PLAN
29.06.2021
104 D - PROPOSED SITE PLAN PROPOSED SITE 29.06.2021
PLAN
115 B - PROPOSED NORTH EAST ELEVATION
PROPOSED NORTH EAST ELEVATION
29.06.2021
PLANNING & LISTED BUILDING CONSENT
STATEMENT STAGE 2 REPORT REV 1
29.06.2021
PROPOSED WORKS TO STABILISE BUILDING -
STAND ENGINEERS Plans - Proposed LOWER GF
29.06.2021
PROPOSED WORKS TO STABILISE BUILDING AND
IMPROVE ACCESS Plans - Proposed GROUND FLOOR
PLAN
29.06.2021
PROPOSED WORKS TO STABILISE BUILDING Plans -
Proposed GF CEILING PLAN
29.06.2021
Stage 1 - Section A Plans - Proposed ASSUMED
SEQUENCE OF CONS
29.06.2021
Stage 1 - Section B Plans - Proposed 29.06.2021
Stage 2 - Section A Plans - Proposed 29.06.2021
Stage 2 - Section B Plans - Proposed 29.06.2021
Stage 3 - Section A Plans - Proposed 29.06.2021
Stage 3 - Section B Plans - Proposed 29.06.2021
Stage 4 - Section A Plans - Proposed 29.06.2021
Stage 4 - Section B Plans - Proposed 29.06.2021

Reason:

For the avoidance of doubt and in the interests of proper planning.

2. Compliance condition

The development hereby permitted shall be begun before the end of three years from the date of this permission.

Reason:

As required by Section 91 of the Town and Country Planning Act 1990 as amended.

3. Pre-commencement condition

Prior to works commencing, including any demolition, an Arboricultural Method Statement shall be submitted to and approved in writing by the Local Planning Authority.

a) A pre-commencement meeting shall be arranged, the details of which shall be notified to the Local Planning Authority for agreement in writing prior to the meeting and prior to works commencing on site, including any demolition, changes to ground levels, pruning or tree removal.

b) A detailed Arboricultural Method Statement showing the means by which any retained trees on or directly adjacent to the site are to be protected from damage by demolition works, excavation, vehicles, stored or stacked building supplies, waste or other materials, and building plant, scaffolding or other equipment, shall then be submitted to and approved in writing by the Local Planning Authority. The method statements shall include details of facilitative pruning specifications and a supervision schedule overseen by an accredited arboricultural consultant.

c) Cross sections shall be provided to show surface and other changes to levels, special engineering or construction details and any proposed activity within root protection areas required in order to facilitate demolition, construction and excavation.

The existing trees on or adjoining the site which are to be retained shall be protected and both the site and trees managed in accordance with the recommendations contained in the method statement. Following the precommencement meeting all tree protection measures shall be installed, carried out and retained throughout the period of the works, unless otherwise agreed in writing by the Local Planning Authority. In any case, all works must adhere to BS5837: (2012) Trees in relation to demolition, design and construction and BS3998: (2010) Tree work - recommendations.

If within the expiration of 5 years from the date of the occupation of the building for its permitted use any retained tree is removed, uprooted is destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the Local Planning Authority.

Reason

To avoid damage to the existing trees which represent an important visual amenity in the area, in accordance with Chapters 7 (Ensuring the vitality of town centres), 8 (Promoting healthy and safe communities), 11 (Making effective use of land) and 12 (Achieving well-designed places) of the National Planning Policy Framework (2021); Policy G7 (Trees and Woodlands) of the London Plan (2021); Policies SP11 (Open spaces and wildlife), SP12

(Design and conservation) and SP13 (High environmental standards) of the Core Strategy (2011), and; Saved Policies 3.2 (Protection of amenity), 3.12 (Quality in design), 3.13 (Urban design) and 3.28 (Biodiversity) of the Southwark Plan (2007).

4. HARD AND SOFT LANDSCAPING

Before any above grade work hereby authorised begins, detailed drawings of a hard and soft landscaping scheme showing the treatment of all parts of the site not covered by buildings (including cross sections, surfacing materials of any parking, access, or pathways layouts, materials and edge details), shall be submitted to and approved in writing by the Local Planning Authority. The landscaping shall not be carried out otherwise than in accordance with any such approval given and shall be retained for the duration of the use.

The planting, seeding and/or turfing shall be carried out in the first planting season following completion of building works and any trees or shrubs that is found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of the same size and species in the first suitable planting season. Planting shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 5837 (2012) Trees in relation to demolition, design and construction and BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf).

Reason:

So that the Council may be satisfied with the details of the landscaping scheme, in accordance with Chapters 8 (Promoting healthy and safe communities), 12 (Achieving well designed places), and 15 (Conserving and enhancing the natural environment) of the National Planning Policy Framework (2021); Strategic Policies 11 (Open Spaces and Wildlife), 12 (Design and conservation) and 13 (High Environmental Standards) of The Core Strategy (2011); and Saved Policies 3.2 (Protection of Amenity), 3.12 (Quality in Design) 3.13 (Urban Design) and 3.28 (Biodiversity) of the Southwark Plan (2007).

5. **Pre-commencement condition**

GREEN ROOFS FOR BIODIVERSITY

Part 1: Before any above grade work hereby authorised begins, details of the biodiversity (green/brown) roof(s) shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity (green/brown) roof(s) shall be:

- * biodiversity based with extensive substrate base (depth 80-150mm);
 - * laid out in accordance with agreed plans; and
 - * planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (focused on wildflower planting, and no more than a maximum of 25% sedum coverage).
- The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency. The biodiversity roof(s) shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Part 2: Full Discharge of this condition will be granted once the green/brown roof(s) are completed in full in accordance to the agreed plans. A post completion assessment will be required to confirm the roof has been constructed to the agreed specification.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with: Policies SI 4 (Managing heat risk), SI 13 (Sustainable drainage), G1 (Green Infrastructure), G5 (Urban Greening) of the London Plan 2021; Strategic Policy 11 (Design and Conservation) of the Core Strategy 2011, and; Saved Policy 3.28 (Biodiversity) of the Southwark Plan 2007.

Pre-commencement conditions

6. CYCLE STORAGE DETAILS

Before any the work to the cycle storage commence, details (1:50 scale drawings) of the facilities to be provided for the secure storage of cycles shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the cycle parking facilities provided shall be retained and the space used for no other purpose, and the development shall not be carried out otherwise in accordance with any such approval given.

Reason:

In order to ensure that satisfactory safe and secure cycle parking facilities are provided and retained in order to encourage the use of cycling as an alternative means of transport to the development and to reduce reliance on the use of the private car in accordance with Chapter 9 (Promoting sustainable transport) of the National Planning Policy Framework (2021); Policy T5 (Cycling) of the London Plan (2021); Strategic Policy 2 (Sustainable Transport) of the Core Strategy (2011); and Saved Policy 5.3 (Walking and Cycling) of the Southwark Plan (2007).

7. SECURITY MEASURES

Before any above grade work hereby authorised begins, details of security measures shall be submitted and approved in writing by the Local Planning Authority.

Any such security measures shall be implemented prior to occupation in accordance with the approved details which shall seek to achieve the 'Secured by Design' accreditation award from the Metropolitan Police.

Reason:

In pursuance of the Local Planning Authority's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention, in accordance with Chapter 8 (Promoting healthy and safe communities) of the National Planning Policy Framework (2021); Policy D11 (Safety, security and resilience to emergency) of the London Plan (2021); Strategic Policy 12 (Design and Conservation) of the Core Strategy (2011); and Saved Policy 3.14 (Designing out crime) of the Southwark Plan (2007).

8. Compliance condition

HOURS OF USE

The use hereby permitted for cafe and community rooms/office including servicing shall be:

1 April to 30 September - 8:30am to 7pm

1 October to 31 October - 8:30am to 5pm

1 November to 28 February - 8:30am to 4pm

1 March to 30 March - 8:30am to 5pm

and for extended hours for special events:

1 January - 31 December - 0830am to 10.30pm

for no more than 21 days per calendar year and for no more than 1 consecutive days and no more than 1 special event per week

Reason:

To safeguard the amenities of neighbouring residential properties in accordance with Chapter 8 (Promoting healthy and safe communities) of the National Planning Policy Framework (2021); Policy D4 (Delivering good design) of the London Plan (2021); Strategic Policy 13 (High Environmental Standards) of the Core Strategy (2011); and Saved Policy 3.2 (Protection of Amenity) of the Southwark Plan (2007).

9. Pre-commencement condition

VENTILATION DETAILS

Prior to the commencement of use, full particulars and details of a scheme for the ventilation of the premises to an appropriate outlet level, including details of sound attenuation for any necessary plant and the standard of dilution expected, has been submitted to and approved by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any approval given.

Reason

In order to ensure that that the ventilation ducting and ancillary equipment will not result in an odour, fume or noise nuisance and will not detract from the appearance of the building in the interests of amenity in accordance with Chapter 8 (Promoting healthy and safe communities) of the National Planning Policy Framework (2021); Policy SI 1 (Air quality) of the London Plan (2021); Strategic Policy 13 (High Environmental Standards) of The Core Strategy (2011); and Saved Policy 3.2 (Protection of Amenity) and 3.6 (Air Quality) of The Southwark Plan (2007).

10. Pre-commencement condition

SOUND INSULTATION DETAILS

Prior to the commencement of use, a scheme of sound insulation for the storage areas and air source heat pumps shall be submitted to the local planning authority

Reason:

To ensure that the occupiers and users of the proposed development do not suffer a loss of amenity by reason of noise nuisance and other excess noise from activities within the commercial premises accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2021); Policies D13 (Agent of change) and D14 (Noise) of the London Plan

(2021); Strategic Policy 13 (High environmental standards) of the Core Strategy (2011); and Saved Policy 3.2 (Protection of Amenity) of the Southwark Plan (2007).

11. Pre-commencement condition

No development shall take place, including any works of demolition, until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. The Statement shall provide for:

- the parking of vehicles of site operatives and visitors;
- loading and unloading of plant and materials;
- storage of plant and materials used in constructing the development;
- the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
- wheel washing facilities;
- measures to control the emission of dust and dirt during construction;
- a scheme for recycling / disposing of waste resulting from demolition and construction works

Reason:

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of pollution and nuisance, in accordance with strategic policy 13 'High environmental standards' of the Core Strategy (2011) saved policy 3.2 'Protection of amenity' of the Southwark Plan (2007), and the National Planning Policy Framework 2019.

12. Pre-commencement condition

Prior commencement of development, an agreement under s278 of the Highways Act 1980 (as amended) shall be entered into by the developer for the reinstatement of the highway should damage occur during the construction process.

The development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order that the Local Planning Authority may be satisfied as to the design and details in the interest of the special architectural qualities of the proposal in accordance with Chapter 12 (Achieving well designed places) of the the National Planning Policy Framework (2021); Strategic Policy SP12 (Design & Conservation) of the Core Strategy (2011); and Saved Policies 3.12 (Quality in Design) and 3.13 (Urban Design) of the Southwark Plan (2007).

Informative notes to the applicant relating to the proposed development

Second Recommendation Listed Building Consent 21/AP/2275

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

Applicant	Ms Nina Chantry London Borough of Southwark, Environment and Leisure, Pa...	Reg. Number	21/AP/2275
Application Type	Listed Building Consent	Case Number	2522-F
Recommendation	GRANT consent		

Draft of Decision Notice

listed building consent is GRANTED for the following development:

Internal and external restoration of the East Lodge with updated access, integration of the cafe and community uses and landscaping.

East Lodge Nunhead Cemetery Linden Grove London

In accordance with application received on 29 June 2021 and Applicant's Drawing Nos.:

The development shall be carried out in accordance with the following approved plans:

Reference no. / Plan/document name / Revision: Received on:

STAGE 2 REPORT REV 1 Environmental Statement 29.06.2021

TREE DEVELOPMENT REPORT Tree survey and assessment

29.06.2021

103C - PROPOSED SOUTH WEST ELEVATION

PROPOSED SOUTH WEST ELEVATION

29.06.2021

104D - PROPOSED NORTH-WEST ELEVATION

PROPOSED NORTH-WEST ELEVATION

29.06.2021

105E - PROPOSED NORTH-EAST ELEVATION

PROPOSED NORTH-EAST ELEVATION

29.06.2021

106D - PROPOSED SOUTH-EAST ELEVATION

PROPOSED SOUTH-EAST ELEVATION

29.06.2021

102L - PROPOSED GROUND FLOOR PLAN

PROPOSED GROUND FLOOR PLAN

11.11.2021

108C - PROPOSED SECTION BB PROPOSED

SECTION BB

29.06.2021

101L - PROPOSED BASEMENT PLAN PROPOSED

BASEMENT PLAN

11.11.2021

107 B - PROPOSED SECTION AA PROPOSED

SECTION AA

29.06.2021

113 B - PROPOSED SOUTH WEST ELEVATION

PROPOSED SOUTH WEST ELEVATION

11.11.2021

116 B - PROPOSED ROOF PLAN PROPOSED ROOF

PLAN

29.06.2021

104 D - PROPOSED SITE PLAN PROPOSED SITE 29.06.2021

PLAN

115 B - PROPOSED NORTH EAST ELEVATION

PROPOSED NORTH EAST ELEVATION

29.06.2021

PLANNING & LISTED BUILDING CONSENT

STATEMENT STAGE 2 REPORT REV 1

29.06.2021

PROPOSED WORKS TO STABILISE BUILDING -

STAND ENGINEERS Plans - Proposed LOWER GF

29.06.2021

PROPOSED WORKS TO STABILISE BUILDING AND

IMPROVE ACCESS Plans - Proposed GROUND FLOOR

PLAN

29.06.2021

PROPOSED WORKS TO STABILISE BUILDING Plans -

Proposed GF CEILING PLAN

29.06.2021

Stage 1 - Section A Plans - Proposed ASSUMED

SEQUENCE OF CONS

29.06.2021

Stage 1 - Section B Plans - Proposed 29.06.2021

Stage 2 - Section A Plans - Proposed 29.06.2021

Stage 2 - Section B Plans - Proposed 29.06.2021

Stage 3 - Section A Plans - Proposed 29.06.2021

Stage 3 - Section B Plans - Proposed 29.06.2021

Stage 4 - Section A Plans - Proposed 29.06.2021

Stage 4 - Section B Plans - Proposed 29.06.2021

Reason:

For the avoidance of doubt and in the interests of proper planning.

2. Time limit condition

The development hereby permitted shall be begun before the end of three years from the date of this permission.

Reason:

As required under Section 18 of the Planning (Listed Buildings &

Conservation Areas) Act 1990 as amended.

3. Compliance condition

MATERIALS TO MATCH EXISTING

All new internal/external works and finishes and works of making good shall match existing original work adjacent in respect of materials used, detailed execution and finished appearance, except where indicated otherwise on the drawings hereby approved or as required by any condition(s) attached to this consent.

Reason:

In order to ensure that the design and details are in the interest of the special architectural or historic qualities of the listed building in accordance with Chapter 12 (Achieving well-designed places) of the National Planning Policy Framework (2021); Policy D4 (Delivering good design) of the London Plan (2021); Strategic Policy 12 (Design and Conservation) of The Core Strategy (2011); and Saved Policies 3.12 (Quality in design) and 3.13 (Urban design) of the Southwark Plan (2007).

4. Pre-commencement condition

"The following samples shall be made available on site for inspection by the Local Planning Authority, and approval in writing; the development shall not be carried out otherwise than in accordance with any such approval given.

- i) 1sqm sample panel of brickwork, mortar and pointing
- ii) stone
- iii) Stucco repairs and repainting
- iv) natural slate

Reason:

In order to ensure that the design and details are in the interest of the special architectural or historic qualities of the listed building in accordance with Chapter 16 (Conserving and enhancing the historic environment) of the National Planning Policy Framework (2021); Policy HC1 (Heritage conservation and growth) of the London Plan (2021); Strategic Policy 12 (Design and Conservation) of The Core Strategy (2011) and Saved Policies 3.15 (Conservation of the historic environment), 3.16 (Conservation Areas) and 3.17 (Listed Buildings) of The Southwark Plan (2007).

5. Pre-commencement condition

Elevation drawings at 1:20 and section drawings at 1:5 for all new:

- i) fenestration (including box frame, sash, cill and reveal) plus shutter design
- ii) awnings and awning housing,
- iii) railings and ramp
- iv) doors
- v) external lighting

shall be submitted to this Local Planning Authority and approved in writing; the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order to ensure that the design and details are in the interest of the special architectural or historic qualities of the listed building in accordance with

Chapter 16 (Conserving and enhancing the historic environment) of the National Planning Policy Framework (2021); Policy HC1 (Heritage conservation and growth) of the London Plan (2021); Strategic Policy 12 (Design and Conservation) of The Core Strategy (2011) and Saved Policies 3.15 (Conservation of the historic environment), 3.16 (Conservation Areas) and 3.17 (Listed Buildings) of The Southwark Plan (2007).

6. Pre-commencement condition

DETAILED ROOM SCHEDULE

A room by room schedule of restoration including finishes, including plaster mix, plus joinery, cornicing, flooring and chimney pieces, shall be submitted to and agreed in writing.

The development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order that the Local Planning Authority may be satisfied as to the design and details in the interest of the special architectural qualities of the proposal in accordance with Chapter 12 (Achieving well designed places) of the the National Planning Policy Framework (2021); Strategic Policy SP12 (Design & Conservation) of the Core Strategy (2011); and Saved Policies 3.12 (Quality in Design) and 3.13 (Urban Design) of the Southwark Plan (2007).

Informative notes to the applicant relating to the proposed development

1. This listed building consent only applies to the works specified here, including the drawings and schedules on this notice. Any additional fire, sound and other structural works that may be necessary for building regulations approval and which are not shown on the drawings and schedules on this notice are likely to require an additional application for Listed Building Consent (LBC). Please bear in mind that unauthorised works to a Listed Building could constitute a criminal offence

APPENDIX 2

Relevant planning history

Reference and Proposal	Status
21/AP/2274 Internal and external restoration of the East Lodge with updated access, integration of a cafe (former use class A1) and community uses (former use class D1) and landscaping.	Pending decision
Reference and Proposal	Status
21/AP/2275 Internal and external restoration of the East Lodge with updated access, integration of the cafe and community uses and landscaping.	Pending decision

Consultation undertaken

Site notice date: n/a.

Press notice date: 08/07/2021

Case officer site visit date: 25.07.2021

Neighbour consultation letters sent: 14/07/2021

Internal services consulted

Environmental Protection

Transport Policy

Local Economy

Ecology

Urban Forester

Highways Development and Management

Statutory and non-statutory organisations

Historic England

Neighbour and local groups consulted:

108 Daniels Road London Southwark

62 Daniels Road London Southwark

111 Linden Grove London Southwark

105 Linden Grove London Southwark

88 Daniels Road London Southwark

104 Daniels Road London Southwark

70 Daniels Road London Southwark

64 Daniels Road London Southwark

117 Linden Grove London Southwark

98 Daniels Road London Southwark

90 Daniels Road London Southwark

84 Daniels Road London Southwark

102 Daniels Road London Southwark

96 Daniels Road London Southwark

94 Daniels Road London Southwark

92 Daniels Road London Southwark

86 Daniels Road London Southwark

82 Daniels Road London Southwark

112 Daniels Road London Southwark

110 Daniels Road London Southwark

106 Daniels Road London Southwark

100 Daniels Road London Southwark

72 Daniels Road London Southwark

68 Daniels Road London Southwark

66 Daniels Road London Southwark

60 Daniels Road London Southwark

58 Daniels Road London Southwark

119 Linden Grove London Southwark

115 Linden Grove London Southwark

113 Linden Grove London Southwark

109 Linden Grove London Southwark

107 Linden Grove London Southwark

Re-consultation:

Consultation responses received

Internal services

Environmental Protection
Transport Policy
Ecology
Urban Forester
Highways Development and Management

Statutory and non-statutory organisations

Historic England

Neighbour and local groups consulted:

The Lodge, Nunhead Cemetery, Linden Grove, Nunhead London SE15 3LP	London 33 Chalsey Road Brockley London
The Lodge, Nunhead Cemetery, Linden Grove, Nunhead London SE153LP	Chalsey Road London SE4 1YN
The Gardens Trust 70 Cowcross Street London	28 Adys road Peckham Peckham
1 Hannah Mary Way Bermondsey	30 Kirkwood Road Nunhead SE15 3XX
	35 DANBY STREET LONDON SE15

